

# CONSTRUCT

## DEVELOPMENT APPLICATION

21 VEGA ST, REVESBY  
LOT 46 IN DP 1528  
CANTERBURY-  
BANKSTOWN COUNCIL

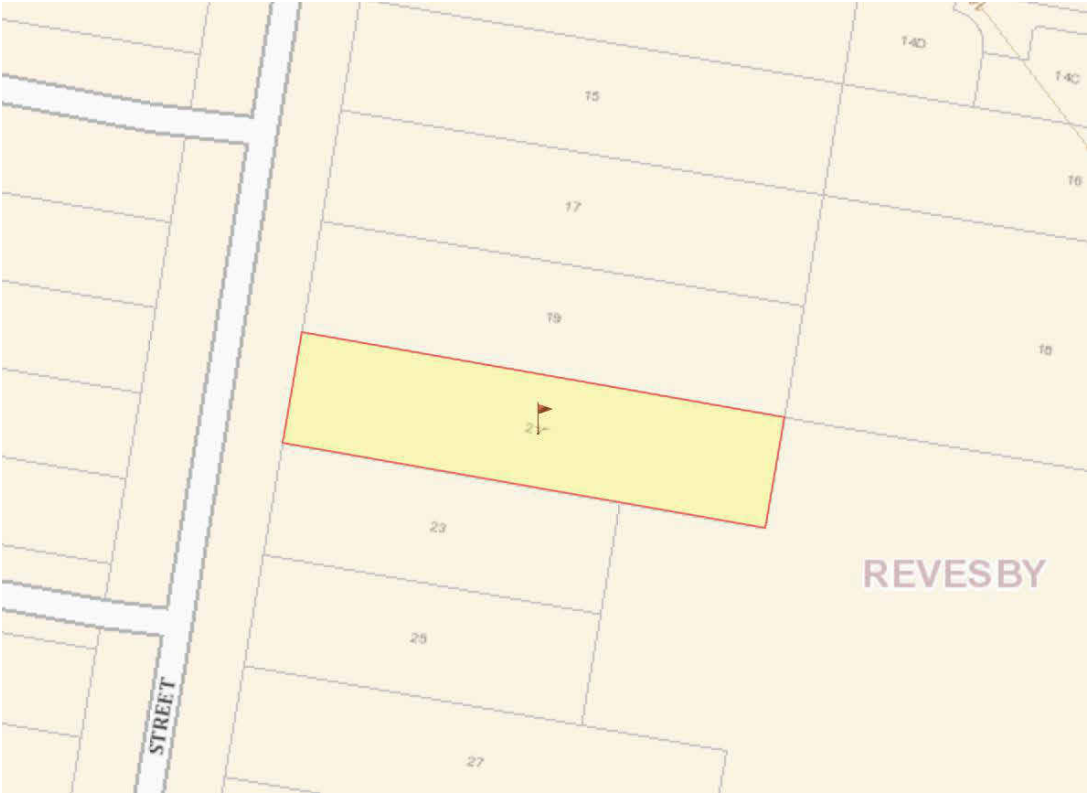
CHANGE OF USE FROM A SINGLE STOREY  
HOUSE TO A COMMUNITY FACILITY

PROJECT NO. 24-021

ISSUED FOR DA



AERIAL VIEW



PROPOSED OUTDOOR COVERED AREA



LOCATION MAP



DEVELOPMENT DATA

LOT SIZE: xxx.xxm²

COUNCIL COMPLIANCE	ALLOWED	PROVIDED	COMPLY
MIN FRONTAGE	N/A	N/A	N/A
MAX SITE COVERAGE	N/A	N/A	N/A
FLOOR SPACE RATIO	N/A	0.28:1	YES
MAX BUILDING HEIGHT	9.0m	7.7m	N/A
FRONT SETBACK	N/A	N/A	N/A
SIDE SETBACK 1	0.9m for awning	0.9m for awning	YES
SIDE SETBACK 2	0.9m for awning	8.3m for awning	YES
REAR SETBACK	N/A	N/A	N/A
CORNER SETBACK	N/A	N/A	N/A
LANDSCAPE AREA	N/A	N/A	N/A
PRIVATE OPEN SPACE	N/A	N/A	N/A

SITE CALCULATION

EXISTING DWELLING, GARAGE & SECONDARY DWELLING	238.57m²
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SHEET SCHEDULE

A000	TITLE PAGE
A001	COVER PAGE
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A003	SITE PLAN & ANALYSIS
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A009	ELEVATIONS
A010	SECTIONS
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A013	PLAN OF MANAGEMENT OPTION 1
A014	PLAN OF MANAGEMENT OPTION 2
A015	3D VIEWS
A016	MATERIAS & FINISHES
A017	EROSION & SEDIMENT CONTROL PLAN
NNA3	NEIGHBOUR NOTIFICATION
NNA4	NEIGHBOUR NOTIFICATION A4



# STANDARD SPECIFICATION

BE ADVISED : SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT

## 1.0 GENERAL

- 1.1
- ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT ANY WORK.
- 1.2
- ALL MATERIALS SHALL COMPLY WITH RELEVENT CURRENT AUSTRLIAN STANDARDS AND SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KINDS AND SUITABLE FOR THEIR INTENDED PURPOSES.
- 1.3
- ALL WORKMANSHIP SHALL COMPLY WITH RELEVENT CURRENT AUSTRALIAN STANDARDS AND TO GOOD TRADE PRACTICES.
- 1.4
- ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE RESPECTIVE AUTHORITY HAVING JURISDICTION OVER THE WORKS.
- 1.5
- THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATION, SCHEDULES AND CONSULTANTS DRAWINGS THAT FORMS PART OF THE CONSTRUCTION DOCUMENTS REFERRED TO IN THE "BUILDING CONTRACT."
- 1.6
- DO NOT SCALE FROM DRAWINGS. NOTIFY OF ANY ERRORS OR OMISSIONS BEFORE PROCEEDING WITH ANY WORKS.
- 1.7
- ENSURE THAT BACKGROUNDS ARE SUITABLE FOR THE INTENDED SUBSEQUENT FINISHES. COMMENCEMENT OF WORK ON THE BACKGROUNDS IMPLIES ACCEPTANCE BY THE SUBCONTRACTOR OF THE BACKGROUNDS ON WHICH FINISHES ARE APPLIED.
- 1.8
- SUPPLY ALL EQUIPMENT NECESSARY FOR THE COMPLETION OF RESPECTIVE WORKS.
- 1.9
- PROGRESSIVELY CLEAN UP AFTER THE COMPLETION OF RESPECTIVE WORKS.

## 2.0 EARTHWORKS

- 2.1
- UNLESS OTHERWISE STATED, REMOVE TOPSOIL TO A MINIMUM DEPTH OF 200mm INCLUDING ALL ROOTS, AND OTHER MATTER, AND REQUIRED BY THE SOIL CONDITION AND/OR THE BUILDER. PROVIDE SUITABLE CLEAN FILLING SAND AND COMPACT IN LAYERS NOT GREATER THAN 300mm TO REDUCE LEVELS AS SHOWN.
- 2.2
- COMPACT SAND FILLING AND SANDY SUB GRADES UNDER FOOTINGS AND SLAB TO OBTAIN MIN. SEVEN (7) BLOWS PER 300mm ON A STANDARDS PERTH SAND PENEFROMETER TEST (AS PER AS 1289 F3.3)
- 2.3
- DO NOT EXCAVATE SERVICES TRENCHES WITHIN AN ANGEL OF 45 DEGREES DOWN FROM BOTTOM EDGE OF FOOTING.
- 2.4
- ALL RETAINING WALLS TO BE TREATED WITH "BITKOTE" WATERPROOFING AGENT.

## 3.0 CONCRETE

- 3.1
- CONCRETE REINFORCEMENT AND FORMWORK SHALL BE TO A STRUTURAL ENGINEERS DETAILS, RELEVANT BUILDING CODES AND STANDARDS
- 3.2
- ALL CONCRETE TO CONFORM TO THE REQUIREMENTS OF AS 3600 CONCRETE STRENGTH GRADE: N20, AGGREGATE 20mm, SLUMP 80mm.
- 3.3
- SLAB IS TO BE CURED FOR 7 DAYS MIN. & SLAB REINFORCEMENT PLACED ON APPROVED CHAIRS TO IMPROVE CRACK CONTROL.
- 3.4
- THE FOOTING AND SLAB CONSTRUCTION IS TO COMPLY WITH AS 2870.
- 3.5
- PROVIDE A PROPRIETARY VAPOR BARRIER WHICH CONSISTS OF HIGH IMPACT RESISTANT POLYTHENE FILM MIN. 0.2mm THICK WHICH HAS BEEN PIGMENTED AND BRANDED BY THE MANUFACTURER.
- 3.6
- TERMITE PROTECTION:  
PROVIDE ANTI-TERMITE TREATMENT UNDER THE BUILDING AREAS IN ACCORDANCE WITH AS 2057, AS 3660.1 AND APPENDIX D, FOR RETICULATED SYSTEMS. BUILDER SHALL PROVIDE "DURSBAN" (HAND SPRAYED ORGANO-PHOSPHATE) OR SIMILAR APPROVED ANTI-TERMITE TREATMENT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARD CODES.

## 4.0 BRICKWORK

- 4.1
- BRICK WORK SHALL COMPLY WITH :  
AS 3700 MASONRY CODE  
AS A123 MASONRY CODE  
MORTAR FOR MASONRY CONSRUCTION
- 4.2
- BRICK GAUGE 7 STANDARD COURSES = 600mm.
- 4.3
- ALL BRICKS SHOULD HAVE MIN. COMPRESSIVE STRENGTH OF 20MPa  
AND AS FOLLOWS:  
EXTERNAL FACE WORK: 230x110x76mm  
EXTERNAL RENDER: 305x162x90mm MAXIBRICK OR VERTICORE  
WINDOW SILLS: 2c FACE BRICK SPLAYED SILLS  
WINDOW HEADS: SOLID FACEBRICK COURSE  
INTERNAL WALLS: 305x162x90mm MAXIBRICK OR VERTICORE  
WITH BED JOINT AND PERPENDS FILLED  
305x76x90mm LONGREACH OR JUMBO FOR COURSE ADJUSTMENT
- 4.4
- MORTAR: 1:1:6 CEMENT:LIME:SAND  
MORTAR (FACE BRICK) COLOR TO MATCH EXISTING AS SELECTED
- 4.5
- TIES SHALL BE 3.5mm DIAMETER GALVANIZED WIRE KINKED FOR AND BUILT IN EVERY 5TH COURSE AT APPROXIMATELY 900mm CENTRES, WITH ADDITIONAL TIES AT THE RATE OF 1 TIE/300mm HEIGHT OF OPENINGS AND VERTICAL CONTROL JOINTS AND WITHIN 150mm OF THE OPENINGS. BUILD TIES INTO EACH LEAF AT LEAST 50mm. VERTICAL CONTROL JOINTS SHALL BE 12mm WIDE  
  
FILLED AT COMPLETION WITH 'COMPRIBAND' CONTINUOUS FILLER STRIP.

- 4.6
- KEEP CAVITIES CLEAR OF MORTAR. PROVIDE CAVITY BOARDS. TEMPORARILY OMIT BRICKS TO PERMIT RAKING OUT OF CAVITY BOTTOMS.
- 4.7
- FORM WEEP HOLES EVERY FOURTH PERPEND ABOVE FLASHINGS AND CAVITY FILL. KEEP CLEAR OF MORTAR. DO NOT LOCATE WEEPHOLES CLOSER THAN 500mm TO JOINTS IN DAMP PROOF COURSES OR FLASHINGS.
- 4.8
- PROVIDE DAMP PROOF COURSES (DPC) IN THE BOTTOM 3 COURSES OF BRICK WORK AND SLAB AND/OR FOOTINGS. DPC ADDITIVE SHALL BE CLEAR IN ALL FACEWORK
- 4.9
- SETOUT BRICKWORK ACCURATELY, PLUMB, LEVEL AND PROPERLY BONDED. RISING WORK TO BE RAKED BACK, JAMBS, REVEALS, CORNERS, PERPENDS, ETC. TO BE TRUE, PLUMB, AND IN LINE WITH PERPENDS TRUE TO LINE. SETOUT DOOR FRAMES NEAR PERPANDICULAR WALL WITH A MARGIN OF 12mm OR GREATER THAN 50mm.
- 4.10
- MOISTEN ALL EXTRUDED BRICKS BEFORE LAYING.
- 4.11
- PROVIDED 12mm PLASTERING MARGIN BETWEEN WINDOW FRAME AND INTERNAL BRICKWORK TO BE PLASTERED.
- 4.12
- WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF LOCATED IN 2 COUSES BELOW SILL AND IN THE 2 COURSES ABOVE AN OPENING EXTENDING A MINIMUM OF 600mm BEYOND THE OPENING.
- 4.13
- BUILD IN ALCOR/PGI FLASHINGS AS FOLLOWS:  
-WHEREVER SHOWN ON DRAWINGS.  
-CAVITY WALLS BUILT OF SLAB ON GROUND (WHERE NOT PARGED.)  
-OVER LINTELS TO EXPOSED OPENINGS:  
FULL WIDTH OF OUTER LEAF CONTINUOUS ACROSS CAVITY 50mm INTO INNER LEAF 2c ABOVE.  
-OVER ROOF:  
FULL WIDTH OF EXTERAL LEAF, STEPPED TO ROOF SLOPE TURNED DOWN MIN. 50mm OVER BASE FLASHING. TURN UP IN CAVITY SLOPING INWARDS AND BUILT INTO INNER LEAF 1c ABOVE.  
-DOOR / WINDOW STILES:  
FULL HIGHT 150mm WIDE FIXED TO FRAMES INTERLEAVED WITH SILL AND HEAD FLASHING AT EACH END.  
-STRUCTURE OR SERVICES WITHIN 30mm OF OUTER BRICK LEAF IN CAVITY:  
VERTICAL FLASHINGS CONTINUOUS 1c BELOW FL TO ABOVE STRUCTURE OR FRAME. NOMINAL 300mm WIDE. FOR HORIZONTAL STRUCTURES / SERVICES:  
CONTINUOUS FLASHING BUILT IN AS FOR OVER LINTELS.  
-AT CAVITY WALLS WITH GLASS BLOCK 300mm WIDE FIXED TO GLASS BLOCK FRAME AND TURNED AWAY IN CAVITY FROM INNER LEAVE.

### 4.14 LINTELS

MAX SPAN (mm)	LINTELS SIZE (VERT x HORIZ x THICK)	BEARING EACH END (mm)
900	75x10	150
1200	75x75x8	150
1500	90x90x8	150
1800	100x75x8	230
2100	125x75x8	230
2400	125x75x10	230
2500	100x100x8	230
3000	150x90x10	230

## 5.0 CARPENTRY WORK

- 5.1
- ROOF AND CEILING FRAMING SHOULD COMPLY WITH AS 1684 LIGHT TIMBER FRAMING CODE. DRAW STRAP FIRMLY OVER WALL PLATES AND SECURELY FIX TO TOP OF PLATE BY 2x30mm GALV. CLOUTS/STRAP.
- 5.2
- REFER TO AS 1684 FOR ROOF FRAMING SIZES UNLESS SPECIFIED ON DRAWINGS.
- 5.3
- SUPPLY AND FIX ALL BULKHEADS & FALSE CEILINGS AS SHOWN ON THE DRAWINGS.

## 6.0 METALWORK

- 6.1
- ELECTRIC AND GAS METER BOXES AS SHOWN IN DRAWINGS
- 6.2
- WINDOW FRAMES SHALL BE RESIDENTIAL OR COMMERCIAL SECTION WITH POWDERCOAT FINISH AS SELECTED BY OWNER. ALLOW FOR FLYSCREENS TO ALL WINDOWS. REFER TO ADDENDUM. ANGLED WINDOW UNITS SHALL BE FACTORY MADE AND FIXED AND DELIVERED ON SITE AS COMPLETE UNIT.
- 6.3
- CLOTHES HOIST: REFER TO ADDENDUM.

## 7.0 ROOFING

- 7.1
- SELECTED ROOFING MATERIAL SHALL BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND RELEVANT BUILDING CODES
- 7.2
- GUTTER, FASCIA, DOWN PIPES, FLASHINGS SHALL BE IN LONGEST POSSIBLE LENGTHS AND SHALL MATCH EXISTING.

- 7.3
- DOWN PIPES SHALL MATCH EXISTING.
- 7.4
- ALLOW FOR ALL JOINTS AND JOINING MATERIALS, COLLARS, STRAPS & FASTENINGS NECESSARY TO COMPLETE WORK.
- 7.5
- ALLOW FOR ALL ROOF PENETRATIONS, ROOF COWLS, FLASHINGS, FLUMES THROUGH ROOF.
- 7.6
- FIX GUTTERS & FLASHINGS TO PERMIT THERMAL MOVEMENT IN THEIR FULL LENGTH
- 7.7
- SEAL BETWEEN OVERLAPPING FLASHINGS; FLASHINGS TURNED DOWN OVER BASE OR APRON FLASHINGS; FLASHINGS OVER METAL ROOF; FLASHINGS OVER SECRET GUTTERS; AROUND ROOF PENETRATIONS ETC.

## 8.0 JOINERY

- 8.1
- ALL JOINERY SHALL BE OF HIGHEST QUALITY MATERIALS TO BEST TRADE PRACTICES AND HIGH QUALITY FINISH.
- 8.2
- EXTERNAL DOOR FRAMES SHALL BE: 110x40 DOUBLE REBATED FRAME WITH 130x40 WEATHERED THRESHOLD U.N.O.
- 8.3
- SUPPLY AND BUILD IN TIMBER DOOR FRAMES TO EXTERNAL LOCATIONS AS SHOWN ON ARCHITECTURAL DRAWINGS.

## 9.0 CEILINGS

- 9.1
- CEILINGS SHALL BE RECESSED EDGE, MINIMUM 8.0mm PLASTERGLASS OR GYPROCK.
- 9.2
- FLUSH JOINTS, SCREW HEADS, AND OTHER BLEMISHES IN THE SHEETS USING APPROVED SYSTEMS TO PROVIDE FLUSH SMOOTH CONTINUOUS SURFACE
- 9.3
- PROVIDE AND FIX ALL FLUSH STOP BEADS & CASING BEADS TO ALL CORNERS & EDGES.
- 9.4
- PROVIDE ALL SELECTED MOLDINGS AND CORNICES TO ALL CEILINGS AS STATED IN ARCHITECTURAL DOCUMENTS.
- 10.1
- INTERNAL WALL FINISHES INCLUDING CUPBOARD, BIN, & FRIDGE RECESSES, ETC. SHALL BE (OTHER THAN FACE FINISHES OR WHERE COVERED BY FEATURE MATERIALS) FLOAT AND SET IN HARDWALL PLASTER U.N.O.
- 10.2
- PLASTERED WALLS SHALL BE NOMINAL 12mm THICK CONSISTING OF 1:1:9, CEMENT:LIME:SAND RENDER, AND FINISHED WITH NOMINALLY 3mm HARDWALL PLASTER.
- 10.3
- SUPPLY AND FIX EXTERNAL CORNER BEADS TO ALL EXTERNAL CORNERS.
- 10.4
- PROVIDE STOP BEADS WHERE PLASTER WORK ABUTS TIMBER FRAMES, OR FACEWORK
- 10.5
- EXTERNAL RENDER WHEN APPLICABLE SHALL BE 2 COAT SAND FINISH. (FOR PAINTING)
- 10.6
- NIBS IN INTERNAL CORNERS ADJACENT TO DOOR FRAMES GREATER THAN 40mm SHALL NOT BE FLUSHED UP WITH FRAMES.
- 10.7
- PROVIDE V-JOINTS IN RENDER & FINISHING PLASTER WHERE BRICK WORK ABUTS OR JOINS ONTO CONCRETE WORK.

## 11.0 GLAZING

- 11.1
- CLEAR GLASS GENERALLY: OBSCURE GLASS TO BATHROOMS, REFER TO DRAWINGS. ALL TO THE RELEVANT AUSTRALIAN STANDARDS.
- 11.2
- WHERE GLASS BLOCKS HAVE BEEN NOMINATED, THEY SHALL BE IN FRAMES AND INSTALLED TO MANUFACTURES SPECIFICATIONS.

## 12.0 FLOORING FINISHES

- 12.1
- CARPET FLOOR COVERINGS TO NOMINATED AREAS COMPLETE WITH SELECTED UNDERLAY SMOOTH EDGE, DIMINISHING STRIPS ETC, TO COMPLETE THE WORKS: REFER TO DRAWINGS & FINISHES SCHEDULE.
- 12.2
- PROVIDE TILED FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS ANGLE TRIMS, ETC TO COMPLETE THE WORKS: REFER TO DRAWINGS & FINISHES SCHEDULE.
- 12.3
- PROVIDE TIMBER FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, DIMINISHING BOARDS ETC. TO COMPLETE THE WORKS: FLOOR BOARDS TO BE SANDED & POLISHED TO HIGH STANDARD WITH PREMIUM QUALITY SEALER (2 COATS). REFER TO DRAWINGS & FINISHERS SCHEDULE.

## 13.0 SIGNAGE

- 13.1
- WHERE NECESSARY SUPPLY & FIX SELECTED UNIT AND HOUSE NUMBERS TO EACH UNIT AND TO LETTERBOXES AS SCHEDULED.
- 13.2
- "SUPERDRAFT" RESERVES THE RIGHT TO ERECT A BUILDERS SIGN ON THE PROPERTY FACING THE STREET FRONTAGE IN COMPLIANCE WITH AUTHORITY REQUIREMENTS.

## 14.0 PAVING

- 14.1
- GENERALLY: WHEN PAVING IS INCLUDED IN THE BUILDING CONTRACT, THE FOLLOWING SHALL APPLY AS A MINIMUM STANDARD
- 14.2
- SUPPLY AND LAY ALL PAVING TO EXTERNAL AREAS AS SHOWN ON WORKING DRAWINGS.
- 14.3
- CUT, FILL AND COMPACT SAND TO REQUIRED LEVELS. SCREED TO UNIFORM THINNESS AND LEVELS
- 14.4
- PROVIDE BRICK EDGE-RETRAINING FOOTING EMBEDDED IN MORTAR BENEATH THE PAVING BRICK, GENERALLY. TO DRIVEWAY AREAS, PROVIDE NOMINAL 300x150mm CONCRETE FOOTING ALONG PERIMETER OF DRIVEWAY AND BED EDGE BRICK IN MORTAR.
- 14.5
- PROVIDE 100mm COMPACTED LIMESTONE BASE TO DRIVEWAY TOPPED WITH 50mm CLEAN SAND AND GRADE TO FALLS.
- 14.6
- PAVING PATTERN: REFER TO ADDENDUM.
- 14.7
- BRICK PAVERS SHALL BE:  
TRAFFICABLE AREAS: MIN. 65mm SOLID CLAY OR CONCRETE  
PEDESTRIAN AREAS: MIN. 43mm SOLID CLAY OR CONCRETE





1

GROUND FLOOR PLAN EXISTING

1 : 200

CONSTRUCT  
DESIGN & BUILDING GROUP

NOTE:  
\* Architectural documents are to be read in conjunction with relevant structural, fire, service, mechanical, hydraulic, electrical, civil and landscaping documents.  
\* Do not scale drawings. Use figured dimensions only. Inform Architect of any omitted, incorrect, site conditions and documents. Contractor to verify all dimensions on site before commencing work.  
\* All materials, appliances, fittings and fixtures are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards.  
\* These drawings are not to be used for construction unless drawings are signed and sealed by Building Surveyor.  
\* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:



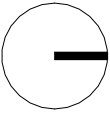
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B	29.01.25	COUNCIL SUBMISSION	AA
C	19.02.25	TO CONSULTANTS	AA
D	03.04.25	COUNCIL SUBMISSION	AA

COUNCIL AREA: BANKSTOWN/CANTERBURY COUNCIL  
DRAWN BY: AA  
CHECKED BY: AA  
CLIENT: MWA  
DRAWING TITLE: GROUND FLOOR PLAN EXISTING

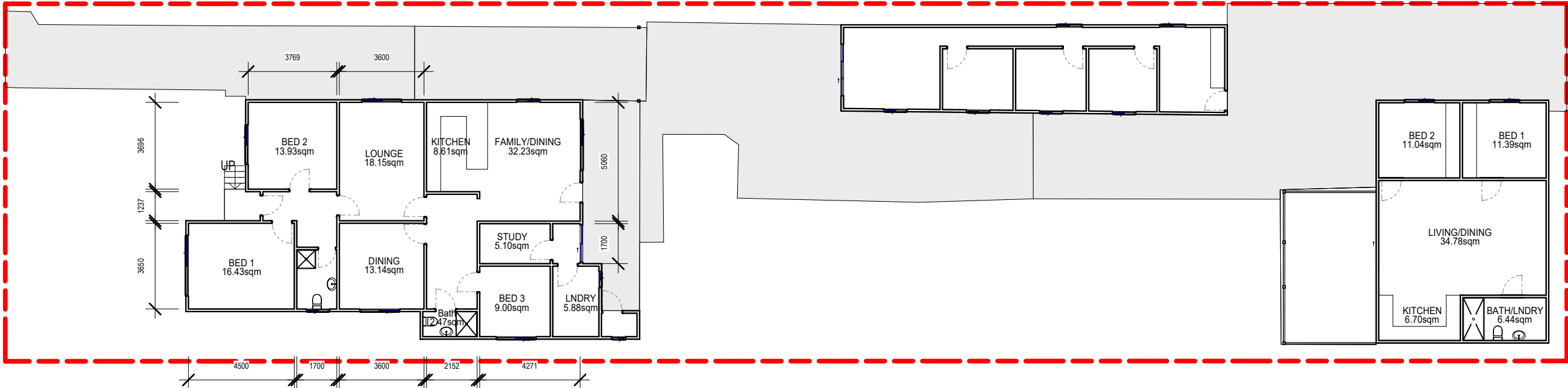
SITE ADDRESS: 21 VEGA STREET REVESBY  
LOT: 46  
ISSUED FOR: DEVELOPMENT TYPE  
PROJECT TYPE: DA  
SCALE: 1 : 200  
DATE: 2024

21 VEGA STREET REVESBY  
DP: 1528  
Issued for DA  
DEVELOPMENT TYPE  
DATE: 2024

REV: D SHEET NO: A004

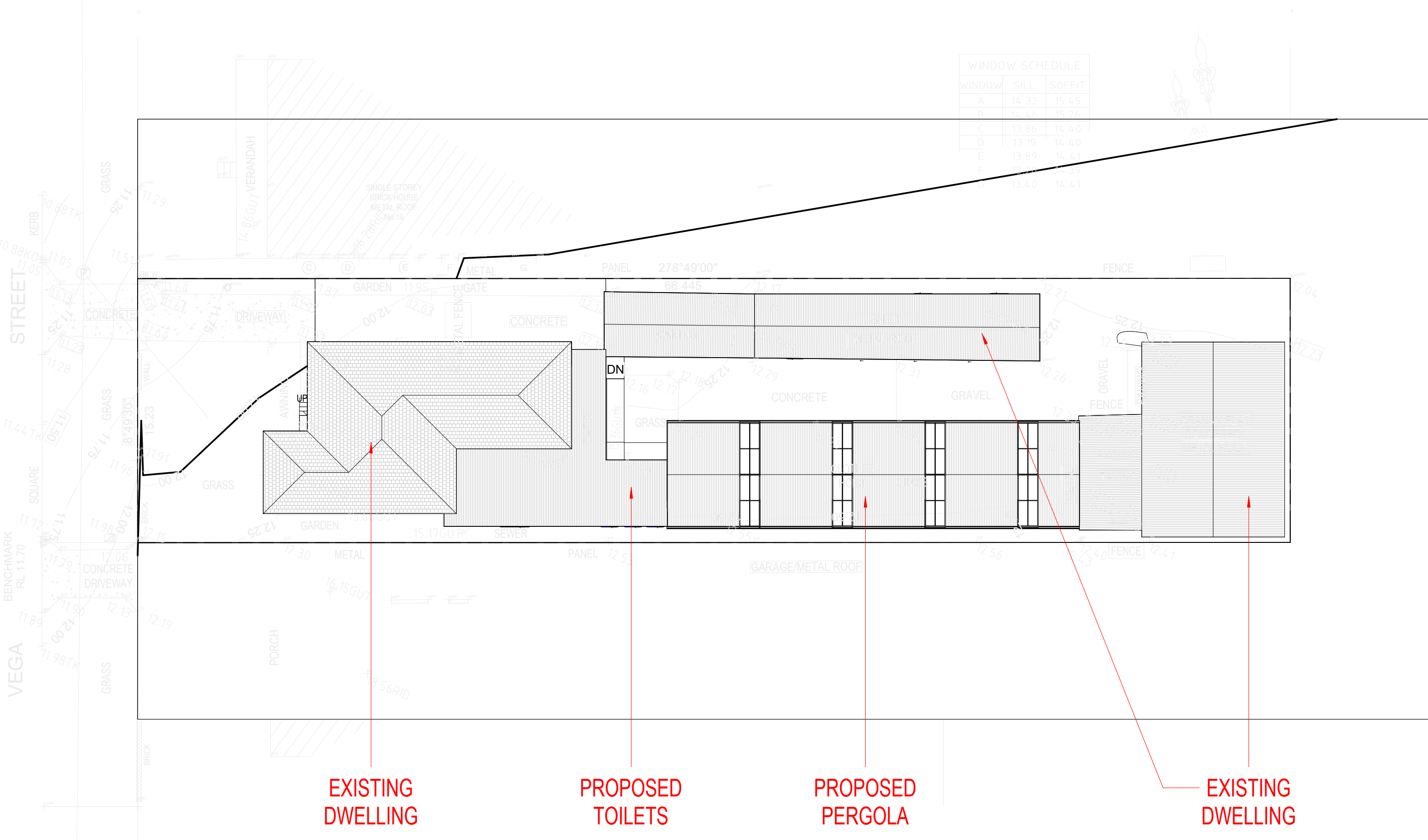


PROJECT NO: 24-021



GENERAL NOTES:	
ALL LEVELS, CONTOURS AND RL'S, ARE TO AUSTRALIAN HEIGHT DATUM (AHD) AND ARE IN METRES U.N.O.	ALL DRAWINGS AND DOCUMENTATION TO BE READ IN CONJUNCTION WITH SPECIALIST CONSULTANT REPORTS AND ENGINEERS DETAILS WHERE APPLICABLE
DIMENSIONS ARE IN MILLIMETRES U.N.O.	FLOOR STRUCTURE TO WET AREAS TO BE SETDOWN 50mm TO ALLOW FOR TILE/FINISH/FALL AND FINISH FLUSH WITH ADJOINING FLOOR FINISHES
FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALE	SMOKE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH AS3786
SITE CONFIRMATION SHOWN ON THIS DRAWING HAS BEEN SUPPLIED BY OTHERS. NO RESPONSIBILITY IS TAKEN FOR ITS AUTHENTICITY OR ACCURACY. THE BUILDER SHALL VERIFY THE LOCATION OF ALL SERVICES, VEGETATION AND DIMENSIONS PRIOR TO COMMENCEMENT. ANY DISCREPANCIES SHOULD BE REPORTED TO ARCHITECTS & DESIGNERS.	ALL EXTERNAL FITTINGS, WHERE STAINLESS STEEL MUST BE 316 MARINE GRADE WITH PROTECTIVE ANTI CORROSIVE COATING
ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS AND STATUTORY REQUIREMENTS	ALL STONE (CLADDING, FACING, BLOCKWORK) TO BE SEALED WITH INIMUM THREE COATS OF DRY TREAT STAIN PROOF - IN ACCORDANCE WITH MANUFACTURER'S SPECS, PROVIDE 15 YEAR WARRANTY FROM MANUFACTURER

WALL LEGEND:
NOTE : ANY LOAD BEARING WALL CONSTRUCTION TO ENGINEER'S DETAILS, FINISHES AS PER ELEVATIONS AND FINISHES SCHEDULE
90mm TIMBER STUD
240mm BRICK VERNEER
240mm BRICK VERNEER + 30-50mm STONE/TILE FACING
230mm BRICK
280mm DOUBLE BRICK
110mm SINGLE BRICK
190mm MASONRY BLOCK



WINDOW SCHEDULE		
WINDOW	SILL	SOFFIT
A	14.32	15.45
B	14.46	15.26
C	13.86	14.40
D	13.19	14.40
E	13.89	14.41
F	13.26	14.59
G	13.40	14.41

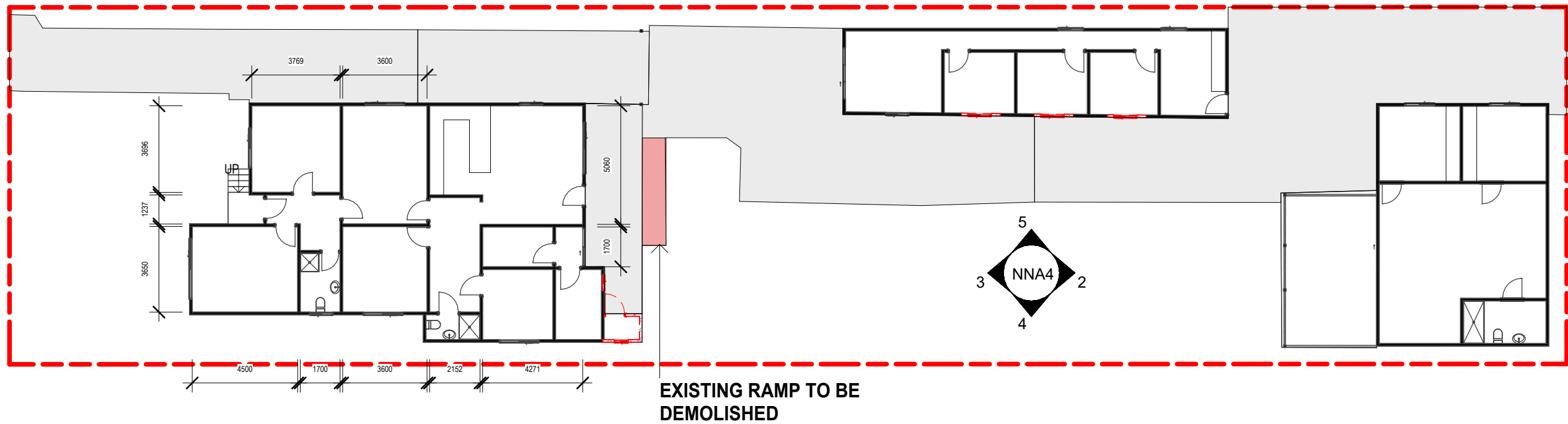
1 01.1 - ROOF PLAN  
1 : 200

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**DRAWN BY:** AA  
**CHECKED BY:** AA  
**CLIENT:** MWA  
**DRAWING TITLE:** ROOF PLAN

**SITE ADDRESS:** 21 VEGA STREET REVESBY  
**LOT:** 46  
**DP:** 1528  
**ISSUED FOR:** Issued for DA  
**PROJECT TYPE:** DEVELOPMENT TYPE  
**SCALE:** 1 : 200  
**DATE:** 2024





EXISTING RAMP TO BE  
DEMOLISHED

Demolition Legend:

- Existing Wall Structure
- Existing Walls / Linings To Be Demolished

Demolition Notes:

- \* All Demolition Work To Comply To AS 2601
- \* Builder To Ensure Removal And Disposal Of All Existing Asbestos Linings To Be In Accordance With Contamination Report And Local Authorities Guidelines
- \* Builder To Confirm All Existing Wall Construction Build-ups When Retained
- \* Builder To Maintain Sedimentation Control Measures In Accordance With Council Requirements
- \* Builder To Cap Off Plumbing & Electrical, And Relocate Pipework/Conduits To Suit New Works Where Required For Reused Service Points

GROUND FLOOR PLAN EXISTING

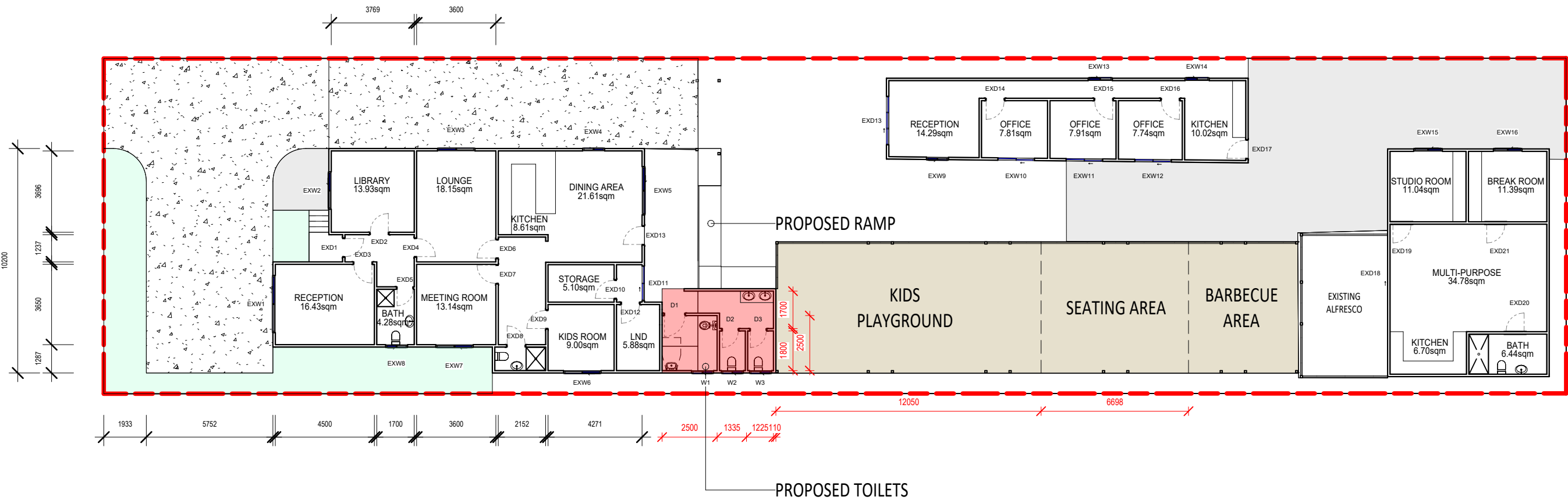
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COUNCIL AREA: BANKSTOWN/CANTERBURY COUNCIL  
DRAWN BY: AA  
CHECKED BY: AA  
CLIENT: MWA  
DRAWING TITLE: DEMOLITION PLAN

SITE ADDRESS: 21 VEGA STREET REVESBY  
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DP: 1528  
ISSUED FOR: Issued for DA  
PROJECT TYPE: DEVELOPMENT TYPE  
SCALE: As indicated  
DATE: 2024



# 1 GROUND FLOOR PLAN - PROPOSED

1 : 200

## CONSULTANTS:



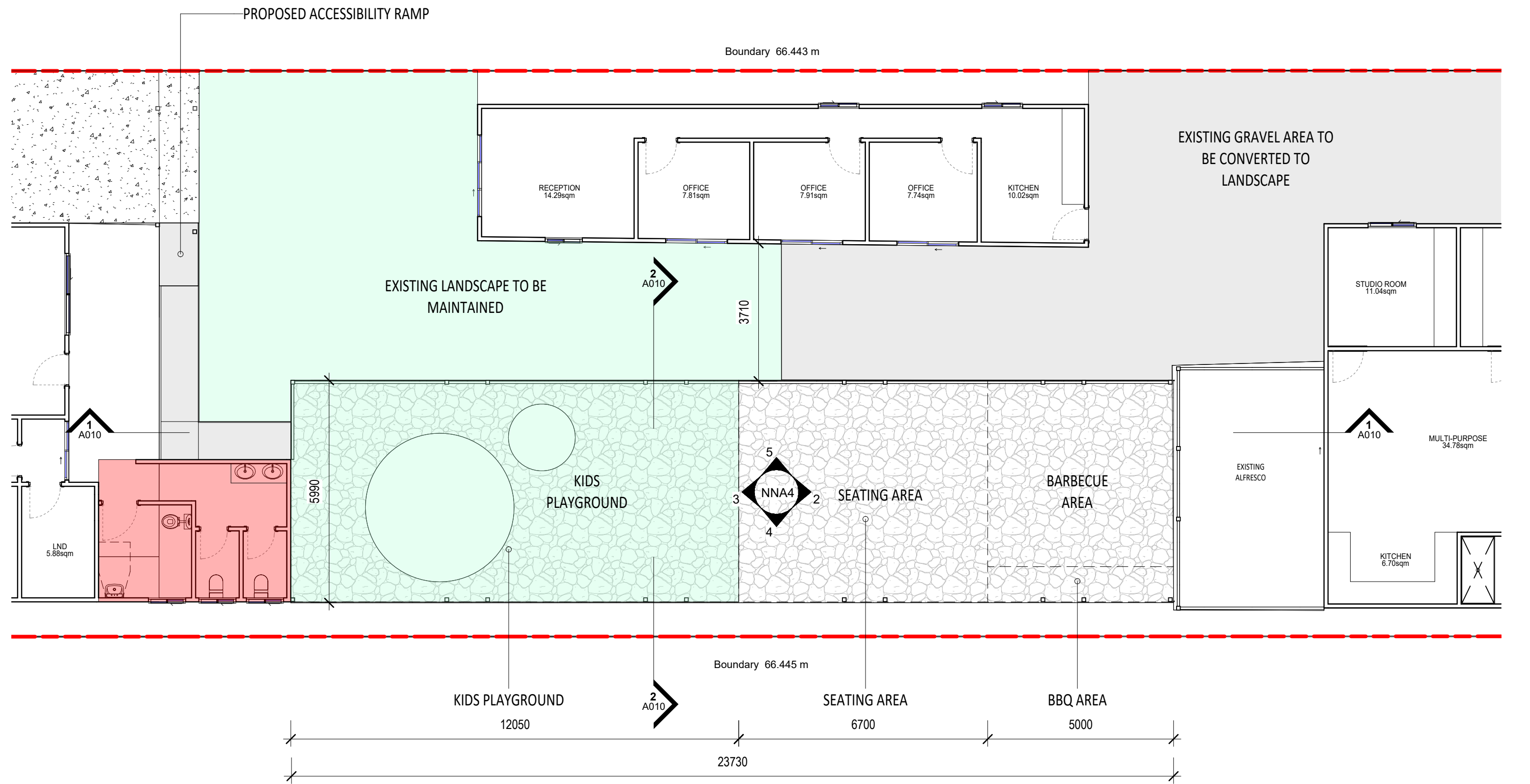
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**SITE ADDRESS:**  
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**SCALE:** 1 : 200

21 VEGA STREET REVESBY  
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1 GROUND FLOOR PLAN - DETAIL  
1 : 100

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**CLIENT:** MWA  
**DRAWING TITLE:** GROUND FLOOR PLAN - DETAIL

**SITE ADDRESS:** 21 VEGA STREET REVESBY  
**LOT:** 46  
**ISSUED FOR:** DEVELOPMENT TYPE  
**PROJECT TYPE:** DA  
**SCALE:** 1 : 100  
**DATE:** 2024

**DP:** 1528  
Issued for DA  
DEVELOPMENT TYPE  
DATE: 2024

PROPOSED RAMP TO BCA STANDARDS

PROPOSED AWNING

FFL 15.940 RL  
GFCL 15.640 RL

PROPOSED TOILET  
EXTENSION

GFL 12.940 RL



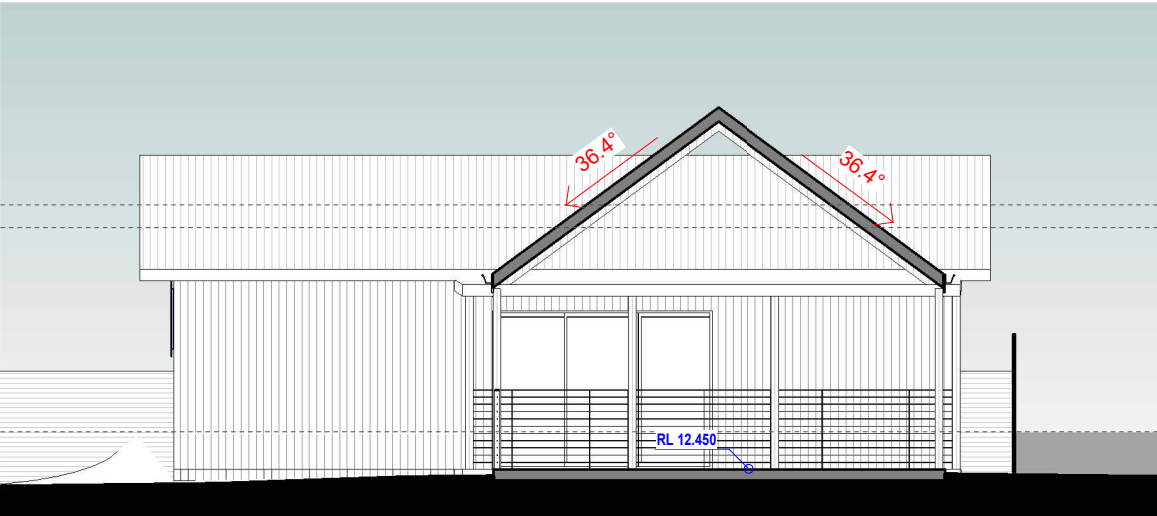
1

EXISTING HOUSE & PROPOSED ACCESSIBILTY RAMP

1 : 100

FFL 15.940 RL  
GFCL 15.640 RL

GFL 12.940 RL



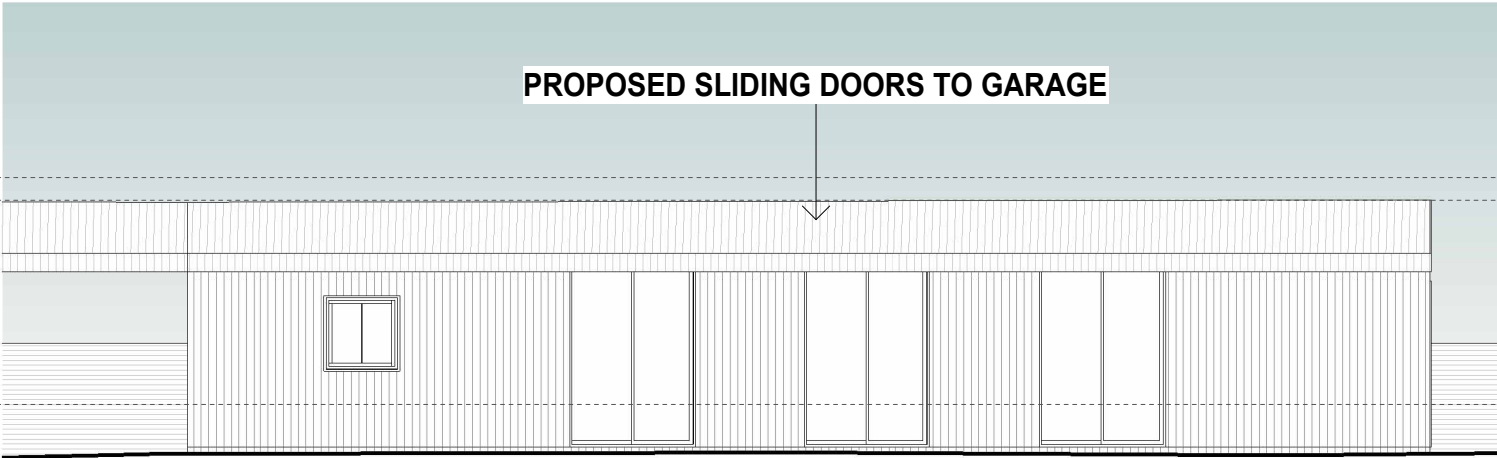
2

EXISTING GRANNY FLAT & PROPOSED BBQ AREA

1 : 100

FFL 15.940 RL  
GFCL 15.640 RL

GFL 12.940 RL



3

EXISTING GARAGE

1 : 100

REV	DATE	DESCRIPTION	INITIAL
A	24.10.24	INITIAL DESIGN	AA
B	29.01.25	COUNCIL SUBMISSION	AA
C	19.02.25	TO CONSULTANTS	AA
D	03.04.25	COUNCIL SUBMISSION	AA

COUNCIL AREA: BANKSTOWN/CANTERBURY COUNCIL  
DRAWN BY: AA  
CHECKED BY: AA  
CLIENT: MWA  
DRAWING TITLE: ELEVATIONS

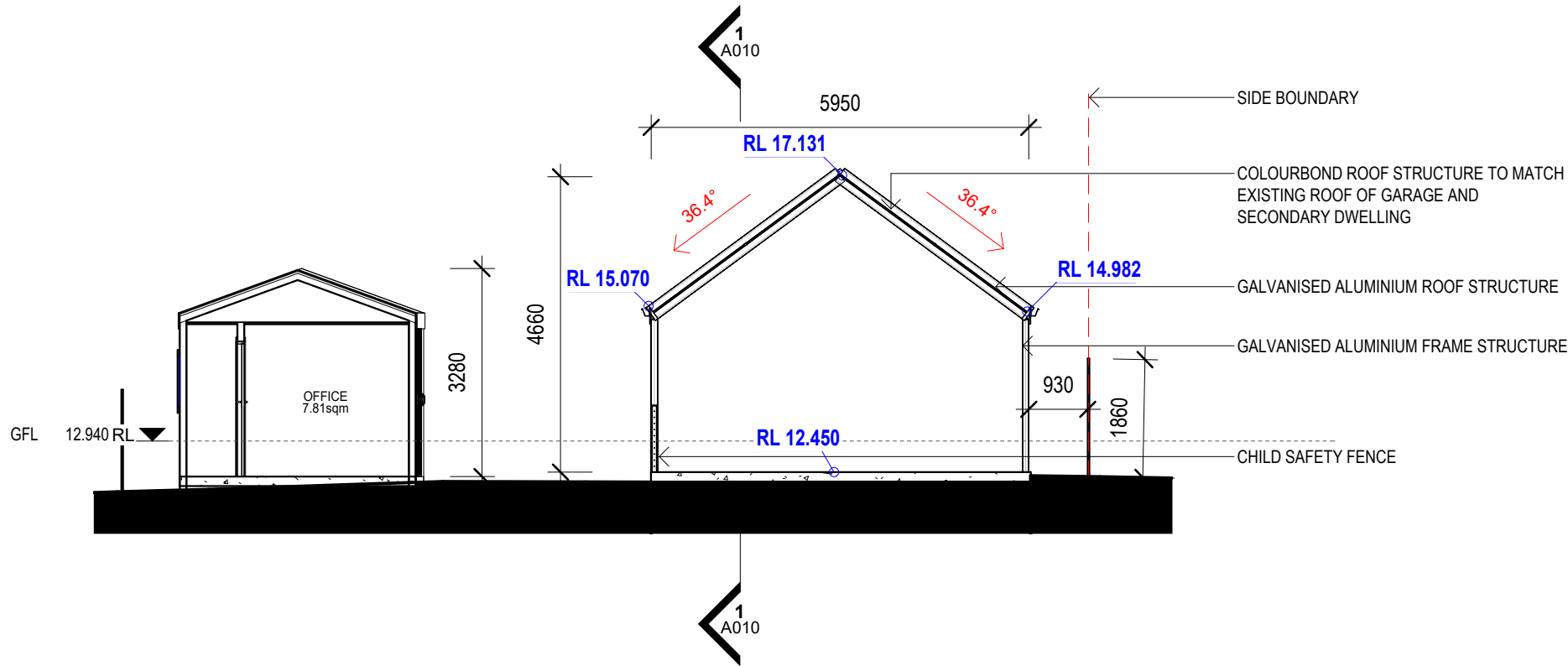
SITE ADDRESS: LOT: 46  
ISSUED FOR: PROJECT TYPE:  
SCALE: 1 : 100

21 VEGA STREET REVESBY  
DP: 1528  
Issued for DA  
DEVELOPMENT TYPE  
DATE: 2024



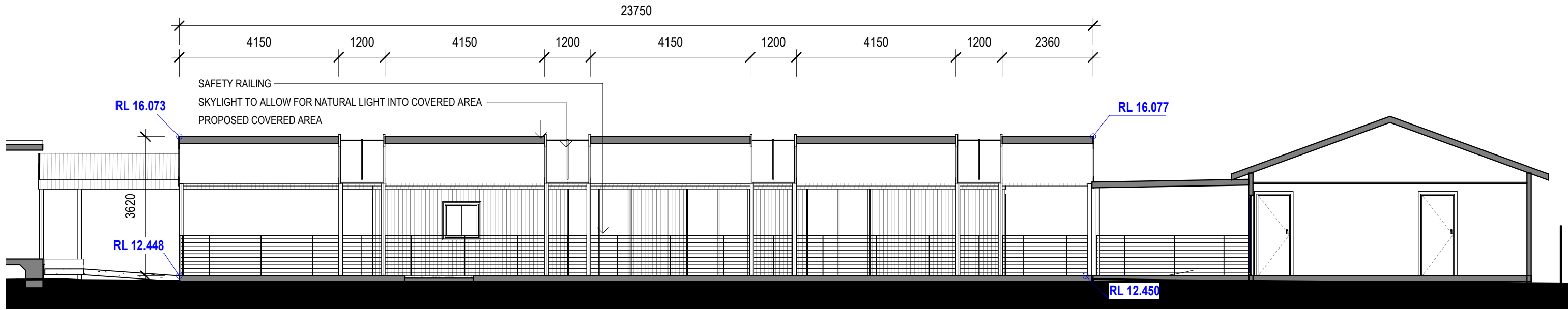
2 CROSS SECTION

1 : 100



1 LONG SECTION OF PLAY, SEATING AND BBQ AREA

1 : 100



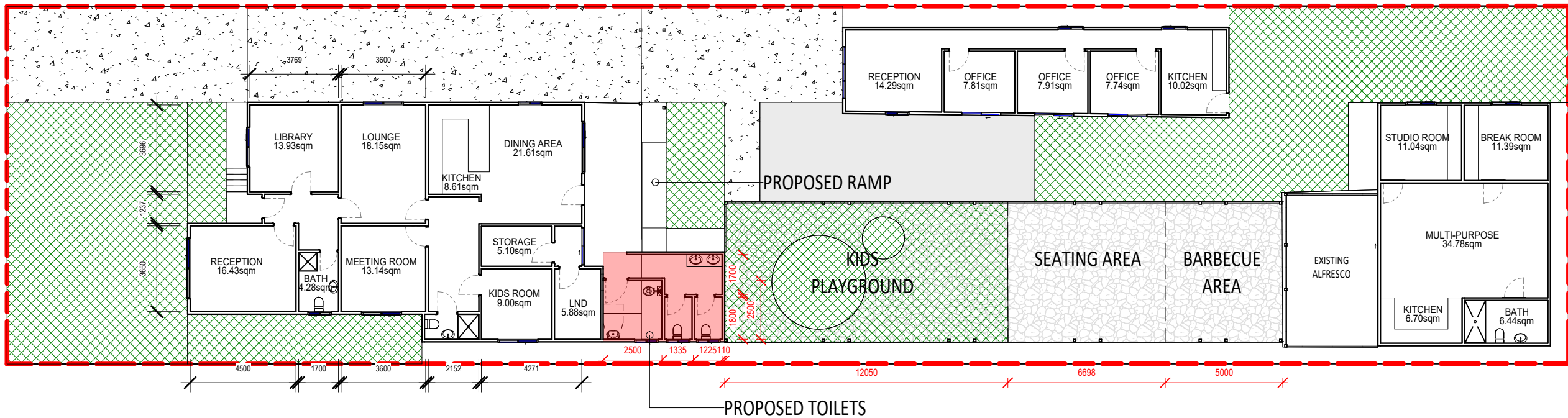
DOOR SCHEDULE NEW						
Mark	Location	Frame Type	Height	Width	Finish	Frame Material

137	GFL		2100	820		
D1	GFL		2100	920		
D2	GFL		2100	720		
D3	GFL		2100	720		
EXW10	GFL		2426	1664		
EXW11	GFL		2426	1664		
EXW12	GFL		2426	1664		

Grand total: 7

WINDOW SCHEDULE NEW						
Mark	Location	Window Style	Height	Width	Material	Glazing

180			1000	700		
182			600	600		
186			1000	1000		
187			1000	1000		
190			1000	1000		
EXW1			1000	2600		
EXW2			1000	1700		
EXW3			1000	1700		
EXW4			1000	1000		
EXW5			1000	2200		
EXW6			1000	1700		
EXW7			1000	1700		
EXW8			600	1000		
EXW9			1000	1000		
EXW13			1000	1100		
EXW14			1000	1100		
EXW15			1000	1300		
EXW16			1000	1300		
W1			600	1000		
W2			600	1000		
W3			600	1000		



# 1 CONCEPT LANDSCAPE PLAN

1 : 200

## Landscaping Notes:

- Turfed Area**
- \* All newly turf ed areas to be selected weed free pennistum clandestium. Turf shall be laid neatly butted with staggered joints flush with adjacent surfaces and have even running falls to all drainage points.
- Garden Areas**
- \* All garden areas are to be filled with 250mm depth of weed free top quality garden soil which has been treated with spent mushroom compost.
  - \* Provide a minimum 75mm depth of pine bark flakes or selected leaf mulch to all garden beds.
  - \* All new tress shall be double stalked using underwood stakes (1800mm x 25 x 25mm) and double tied with hessain webbing.

- General Notes**
- \* Prior to the commencement of any site works, all existing trees to be retained shall be enclosedwith protective fencing to prevent them being damaged during the construction period.
  - \* All finished levels are to be verified by the builder on site.
  - \* All landscaping work to be in strict accordance to councils/privated certifiers code and guidelines.
  - \*This drawing is to be read in conjunction with all submitted architectural.
  - \* Hydraulics and engineering drawings where applicable.

Botanic Name	Common Name	Quantity	Staking	Size	Legend
<b>Trees</b>					
EF - Eucalyptus Fibrosa	Broad Lead Ironbark	1	Yes	75L	EF
PC - Pyrus Calleryana	Callery Pear	1	Yes	35L	PC
<b>Shrubs</b>					
Gs - Grevillea Sericea	Pink Spider Flower	31	-	5L	(Gs)
Nr - Native Rosemary Aussie Box	Westringia hybrida Aussie Box	Planter	-	15L	Nr

## Landscape Calculations:

Individual Site Area	1012sqm
Proposed Dwelling	291sqm
Front Landscape Grass	94sqm
Front Landscape Hard	31sqm
Rear Landscape Grass	153sqm
Total Landscape	247sqm
Total Landscape %	25%
P.O.S.	141sqm



EF



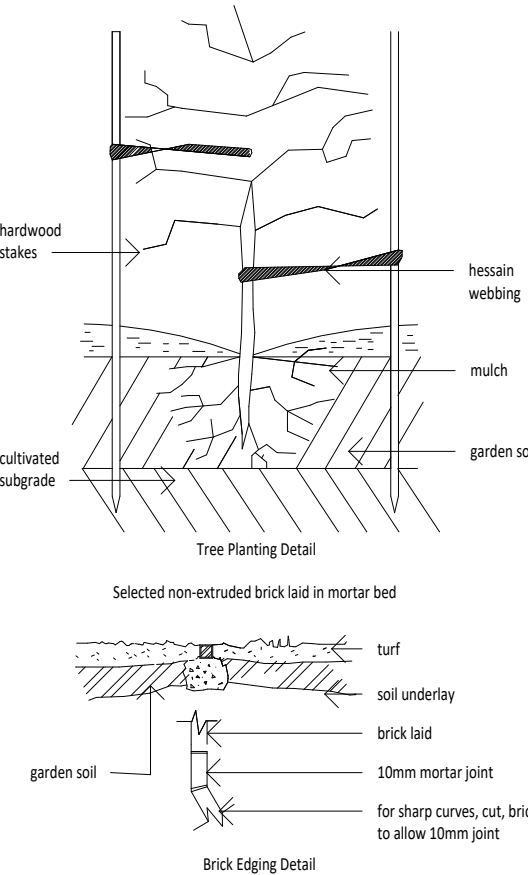
GS



PC



Nr



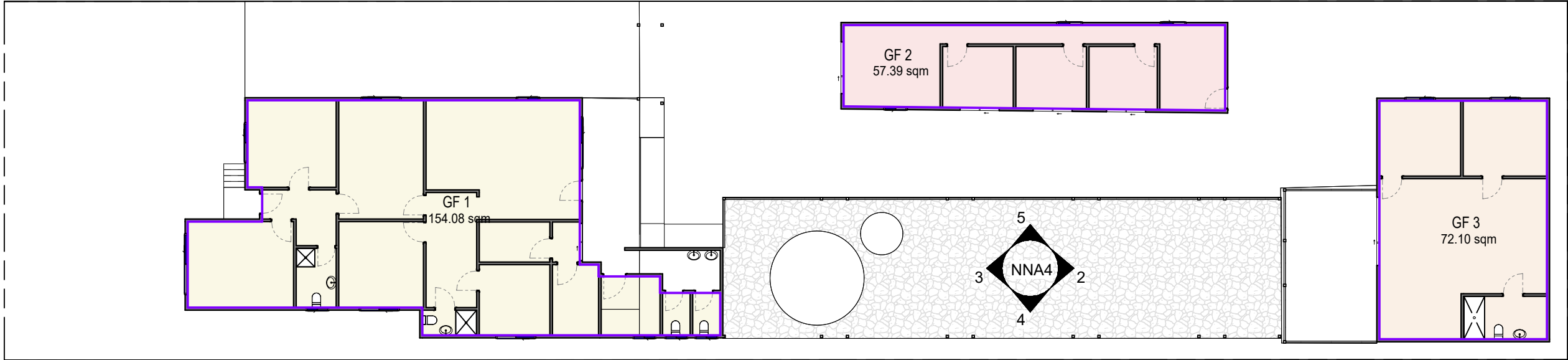
REV	DATE	DESCRIPTION	INITIAL
A	24.10.24	INITIAL DESIGN	AA
B	29.01.25	COUNCIL SUBMISSION	AA
C	19.02.25	TO CONSULTANTS	AA
D	03.04.25	COUNCIL SUBMISSION	AA

**COUNCIL AREA:** BANKSTOWN/CANTERBURY COUNCIL  
**DRAWN BY:** AA  
**CHECKED BY:** MN  
**CLIENT:** MWA  
**DRAWING TITLE:** CONCEPT LANDSCAPE PLAN

**SITE ADDRESS:** 21 VEGA STREET REVESBY  
**LOT:** 46  
**ISSUED FOR:** DEVELOPMENT TYPE  
**PROJECT TYPE:** SCALE:As indicated  
**SCALE:**As indicated

**21 VEGA STREET REVESBY**  
**DP:** 1528  
**Issued for DA**  
**DEVELOPMENT TYPE**  
**DATE:** 2024





Area Schedule	
Name	Area
GF 1	154 m <sup>2</sup>
GF 2	57 m <sup>2</sup>
GF 3	72 m <sup>2</sup>
SITE AREA	1012 m <sup>2</sup>
MAXIMUM GFA	405 m <sup>2</sup>
TOTAL GFA	284 m <sup>2</sup>

1

GFL

1 : 200

REV	DATE	DESCRIPTION	INITIAL
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C	19.02.25	TO CONSULTANTS	AA
D	03.04.25	COUNCIL SUBMISSION	AA

COUNCIL AREA:

DRAWN BY:

CHECKED BY:

CLIENT:

DRAWING TITLE:

BANKSTOWN/CANTERBURY COUNCIL

AA

AA

MWA

AREA PLAN

SITE ADDRESS:

LOT:

ISSUED FOR:

PROJECT TYPE:

SCALE:

21 VEGA STREET REVESBY

46

DA

DEVELOPMENT TYPE

1 : 200

DP:

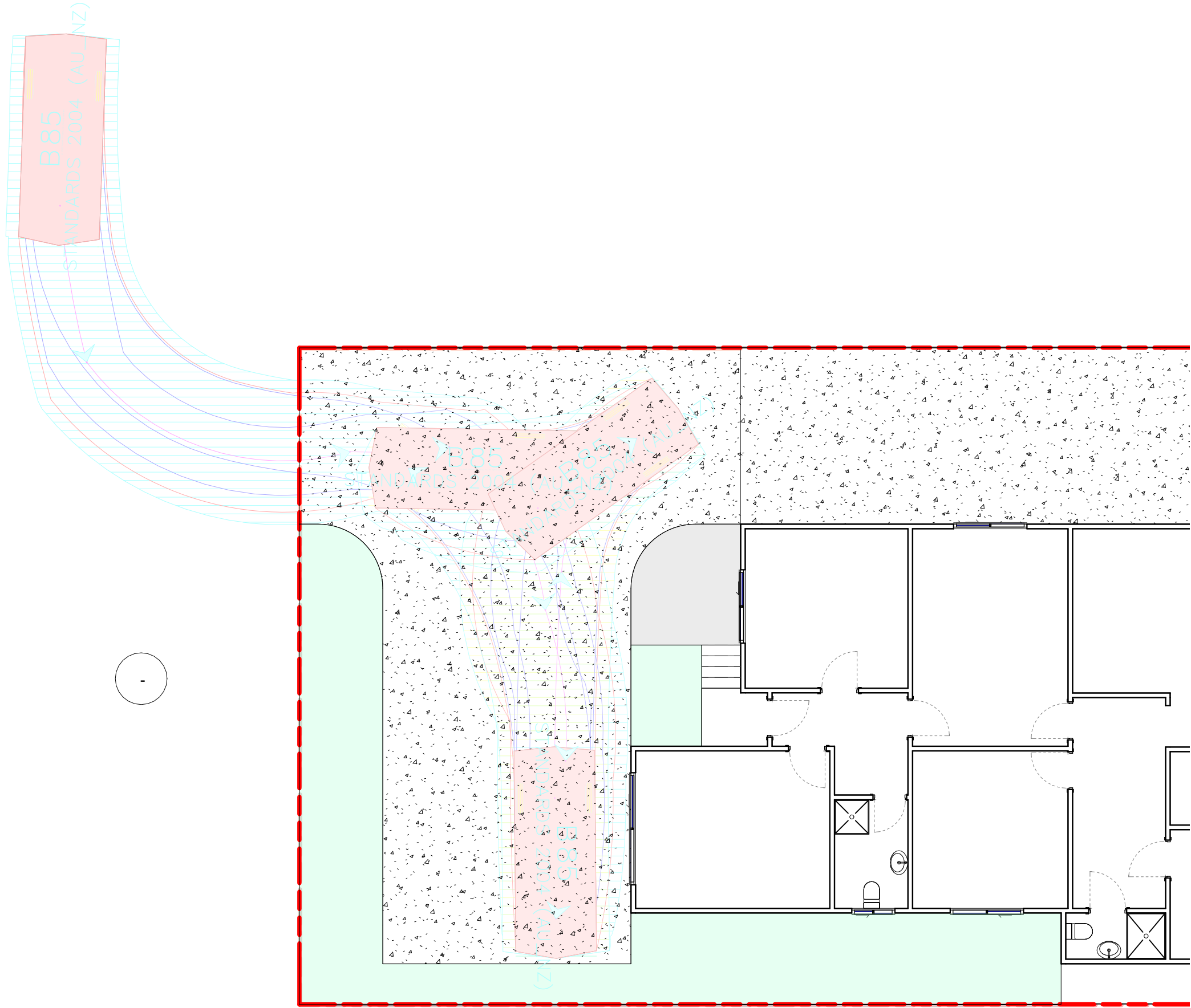
Issued for

DATE:

1528

DA

2024



# GROUND FLOOR PLAN - PLAN OF MANAGEMENT OPTION 1

1 : 100

## CONSULTANTS:

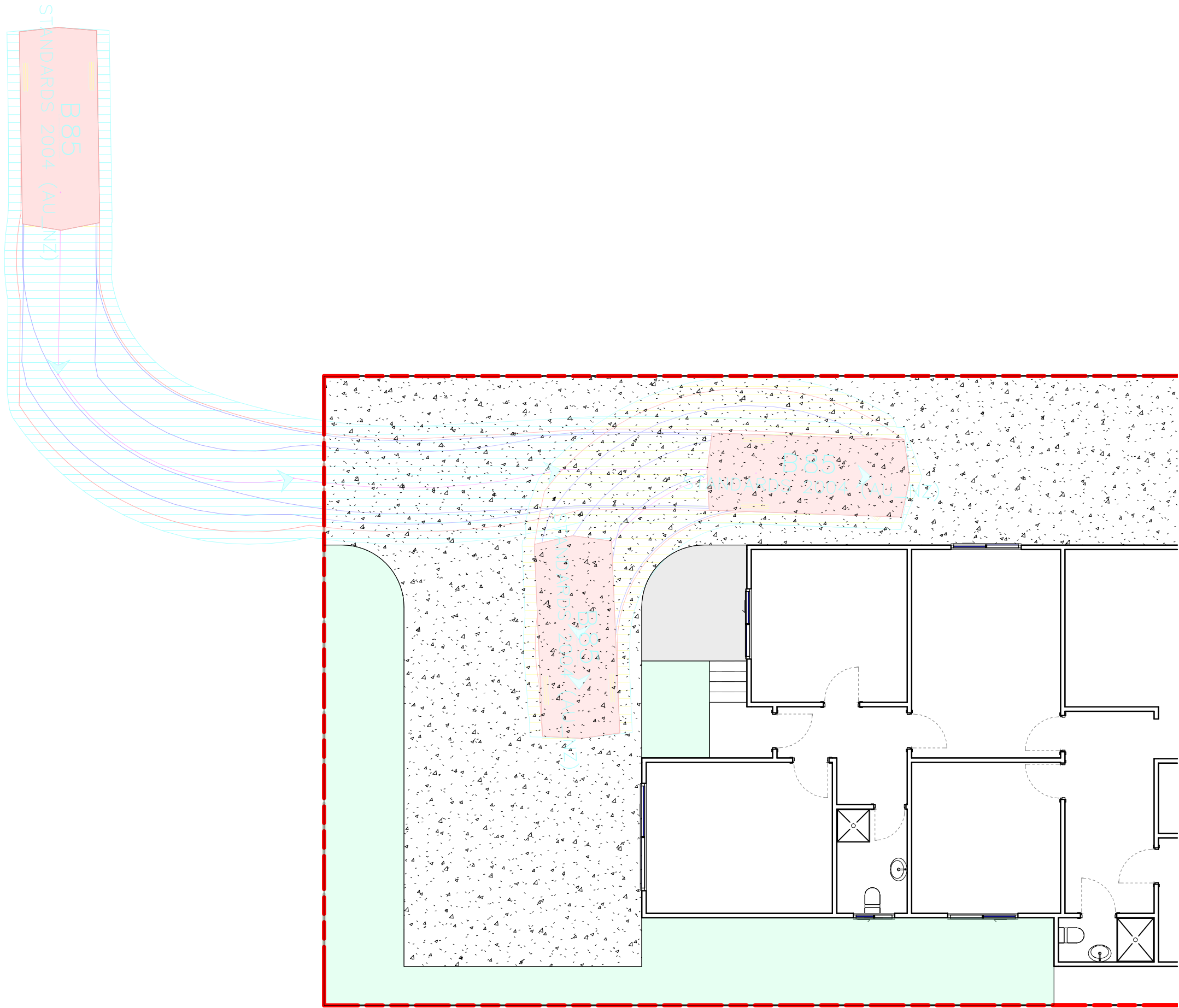


REV	DATE	DESCRIPTION	INITIAL
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C	19.02.25	TO CONSULTANTS	AA
D	03.04.25	COUNCIL SUBMISSION	AA

**COUNCIL AREA:** BANKSTOWN/CANTERBURY COUNCIL  
**DRAWN BY:** AA  
**CHECKED BY:** AA  
**CLIENT:** MWA  
**DRAWING TITLE:** PLAN OF MANAGEMENT OPTION 1

**SITE ADDRESS:**  
**LOT:** 46  
**ISSUED FOR:**  
**PROJECT TYPE:**  
**SCALE:** 1 : 100

21 VEGA STREET REVESBY  
**DP:** 1528  
Issued for DA  
DEVELOPMENT TYPE  
**DATE:** 2024



1 GROUND FLOOR PLAN - PLAN OF MANAGEMENT OPTION 2  
1 : 100

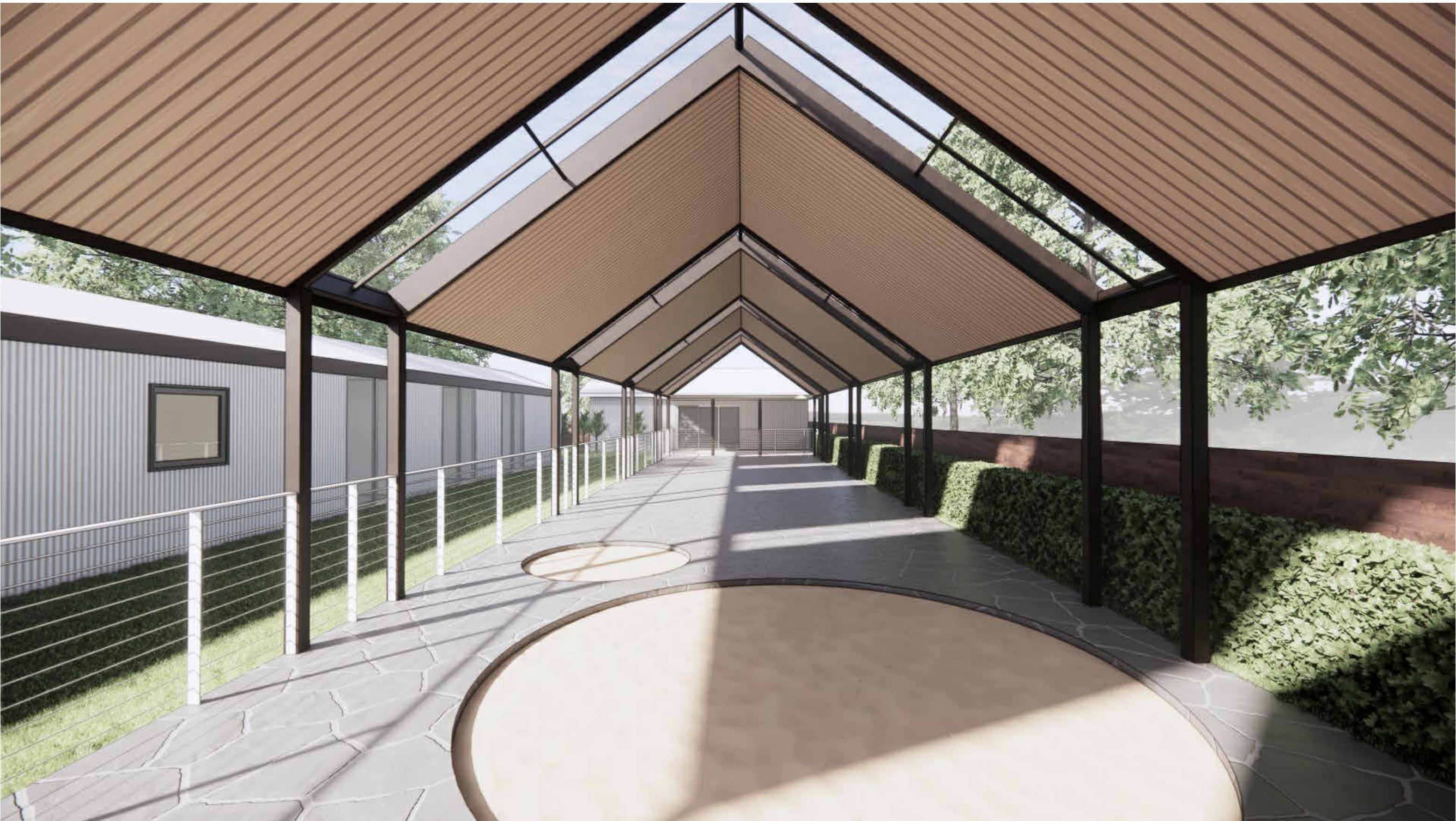
REV	DATE	DESCRIPTION	INITIAL
A	24.10.24	INITIAL DESIGN	AA
B	29.01.25	COUNCIL SUBMISSION	AA
C	19.02.25	TO CONSULTANTS	AA
D	03.04.25	COUNCIL SUBMISSION	AA

COUNCIL AREA: BANKSTOWN/CANTERBURY COUNCIL  
DRAWN BY: AA  
CHECKED BY: AA  
CLIENT: MWA  
DRAWING TITLE: PLAN OF MANAGEMENT OPTION 2

SITE ADDRESS: LOT: 46  
ISSUED FOR: PROJECT TYPE:  
SCALE: 1 : 100

21 VEGA STREET REVESBY  
DP: 1528  
Issued for DA DEVELOPMENT TYPE  
DATE: 2024





PERGOLA STRUCTURE      ROOF TO HAVE CLEAR SHEETS      BBQ AREA      COLOURBOND SHEETS TO MATCH EXISTING GARAGE AND GRANNY FLAT      OUTDOOR LANDSCAPING TO BE DESIGNED BY LANDSCAPE DESIGNER



REV	DATE	DESCRIPTION	INITIAL
A	24.10.24	INITIAL DESIGN	AA
B	29.01.25	COUNCIL SUBMISSION	AA
C	19.02.25	TO CONSULTANTS	AA
D	03.04.25	COUNCIL SUBMISSION	AA

COUNCIL AREA:

DRAWN BY:

CHECKED BY:

CLIENT:

DRAWING TITLE:

BANKSTOWN/CANTERBURY COUNCIL

AA

AA

MWA

3D VIEWS

SITE ADDRESS:

LOT:

ISSUED FOR:

PROJECT TYPE:

SCALE:

21 VEGA STREET REVESBY

DP: 1528

Issued for DA

DEVELOPMENT TYPE

DATE: 2024





PERGOLA STRUCTURE      ROOF TO HAVE CLEAR SHEETS      BBQ AREA      COLOURBOND SHEETS TO MATCH EXISTING GARAGE AND GRANNY FLAT      OUTDOOR LANDSCAPING TO BE DESIGNED BY LANDSCAPE DESIGNER



CONSULTANTS:



REV	DATE	DESCRIPTION	INITIAL
A	24.10.24	INITIAL DESIGN	AA
B	29.01.25	COUNCIL SUBMISSION	AA
C	19.02.25	TO CONSULTANTS	AA
D	03.04.25	COUNCIL SUBMISSION	AA

**COUNCIL AREA:** BANKSTOWN/CANTERBURY COUNCIL  
**DRAWN BY:** AA  
**CHECKED BY:** AA  
**CLIENT:** MWA  
**DRAWING TITLE:** MATERIAS & FINISHES

**SITE ADDRESS:** 21 VEGA STREET REVESBY  
**LOT:** 46  
**DP:** 1528  
**ISSUED FOR:** Issued for DA  
**PROJECT TYPE:** DEVELOPMENT TYPE  
**SCALE:** DATE: 2024







